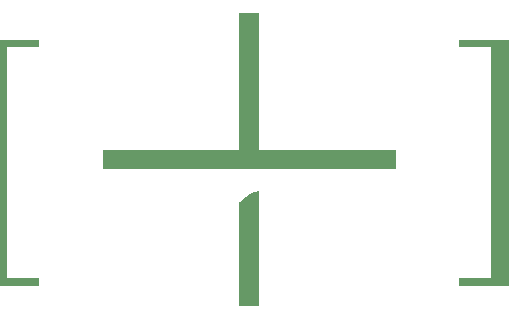


GURLEY AVE | LOT 7

GREENVILLE, SC

ISSUED FOR PERMITTING

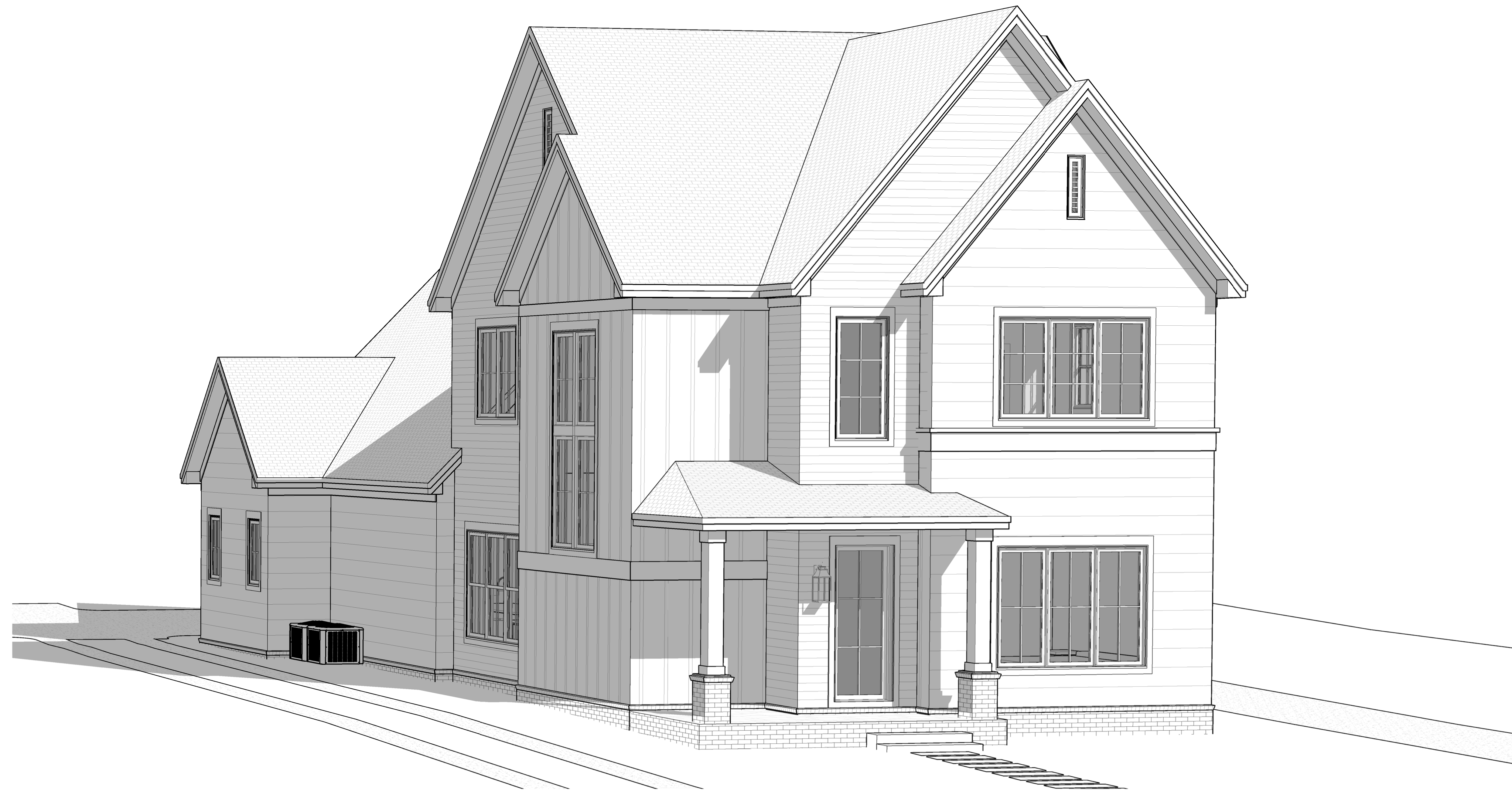
03.09.26



Project Plus

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| REVISION SCHEDULE | | |
|-------------------|-------------------|----------|
| NO | DESCRIPTION | DATE |
| A | ISSUED FOR PERMIT | 03.09.26 |



GURLEY AVE | LOT 7
JEFF MCGEHEE
GREENVILLE, SC

TMS: 0211000607905 0211000607902

PROJECT: 25148

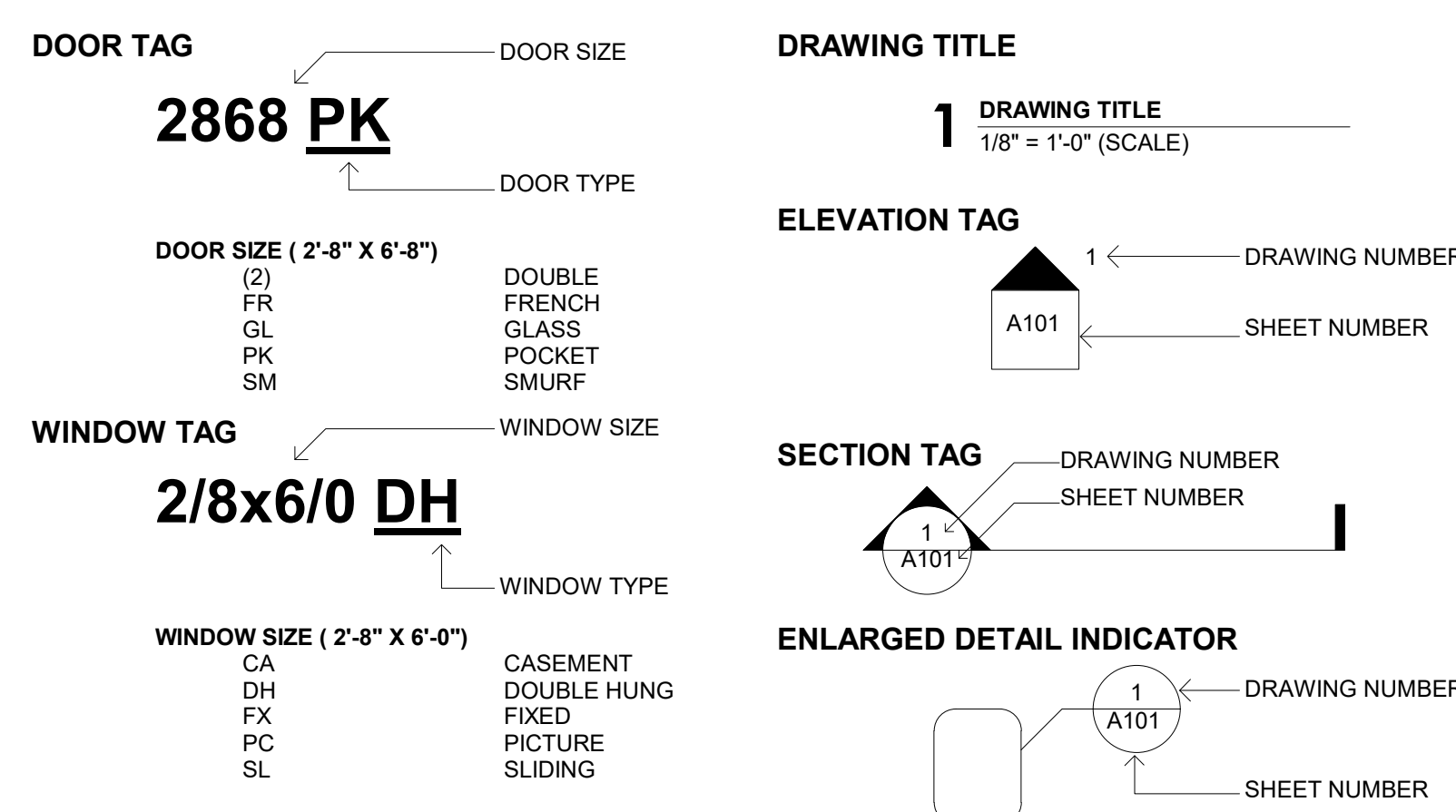
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SHEET INDEX

| | |
|-----------------------|-------------------------|
| 00-GENERAL | |
| G0.00 | COVER |
| 04-ARCHITECTURAL SITE | |
| AS1.00 | ARCHITECTURAL SITE PLAN |
| 05-ARCHITECTURAL | |
| A1.01 | FLOOR PLANS |
| A1.02 | ROOF PLAN |
| A2.00 | EXTERIOR ELEVATIONS |
| A2.01 | EXTERIOR ELEVATIONS |

GRAPHIC LEGEND



PROJECT INFORMATION

| AREA SUMMARY | | |
|--------------|--------------------|----------|
| Level | Type | Area |
| LEVEL 1 | FLOOR JOIST | 1,543 SF |
| LEVEL 2 | FLOOR JOIST | 957 SF |
| HEATED | | 2,500 SF |
| LEVEL 1 | PORCH - BACK | 177 SF |
| LEVEL 1 | PORCH - BACK STOOP | 16 SF |
| LEVEL 1 | PORCH - FRONT | 94 SF |
| LEVEL 1 | PORCH - STEPS | 5 SF |
| LEVEL 1 | PORCH - STEPS | 5 SF |
| NON-HEATED | | 297 SF |
| LEVEL 1 | DRIVEWAY | 664 SF |
| LEVEL 1 | PATH | 39 SF |
| SITE | | 703 SF |

PROJECT TEAM

OWNER

JEFF MCGEHEE
T: 864.449.2455
E: JEFF@MCGEHEEREALSTATE.COM

ARCHITECT

PROJECT PLUS, LLC
123 WELBORN ST., SUITE 202 GREENVILLE, SC, 29601

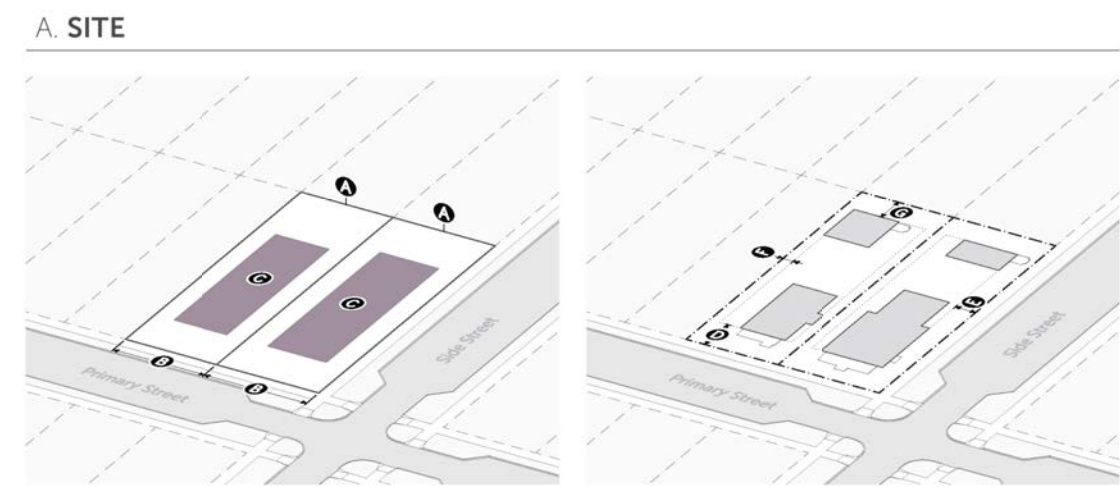
ROSS KISTLER
T: 803.360.4701
E: ROSS@PROJECTPLUSSC.COM

CONTRACTOR

COVER

G0.00

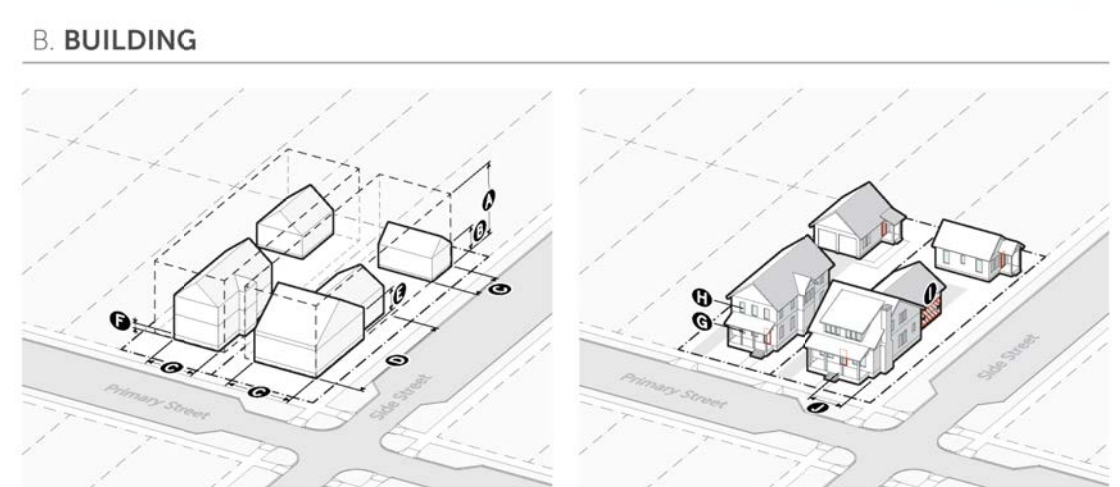
19-2.2.4 RH-C HOUSE C



| | | | |
|--------------------------|-------------|---|----------------------|
| 1. LOT SIZE | Sec. 2.11.2 | 4. BUILDING SETBACKS² | Sec. 2.11.5 |
| Area (min) | 6,000 SF | Primary street lot line (min) | 20' or Setback Range |
| Width (min) | 40' | Accessory structure | 50' |
| 2. DENSITY | Sec. 2.11.3 | Side street lot line (min) | 10' |
| Dwellings per lot (max) | 1 | Side lot line (min) | 7' |
| Primary units | 1 | Up to 60' wide lot | 5' |
| Accessory Dwelling units | 1 | 61 to 100' wide lot | 7' |
| 3. COVERAGE | Sec. 2.11.4 | Accessory structure | 5' |
| Building coverage (max) | 45% | Primary structure | 15' |
| Up to 9,000 SF lot | 40% | Accessory structure | 5' |
| 9,001 to 14,000 SF lot | 35% | 5. PARKING SETBACKS | Sec. 2.11.8 |
| 14,001 to 20,000 SF lot | 30% | Primary street (min) | 30' |
| Above 20,000 SF lot | 30% | Side street (min) | 10' |
| | | Front yard height (max) | Type B 3' |
| | | Side street yard height (max) | Type C 6' |
| | | Side/rear yard height (max) | Type E 6' |

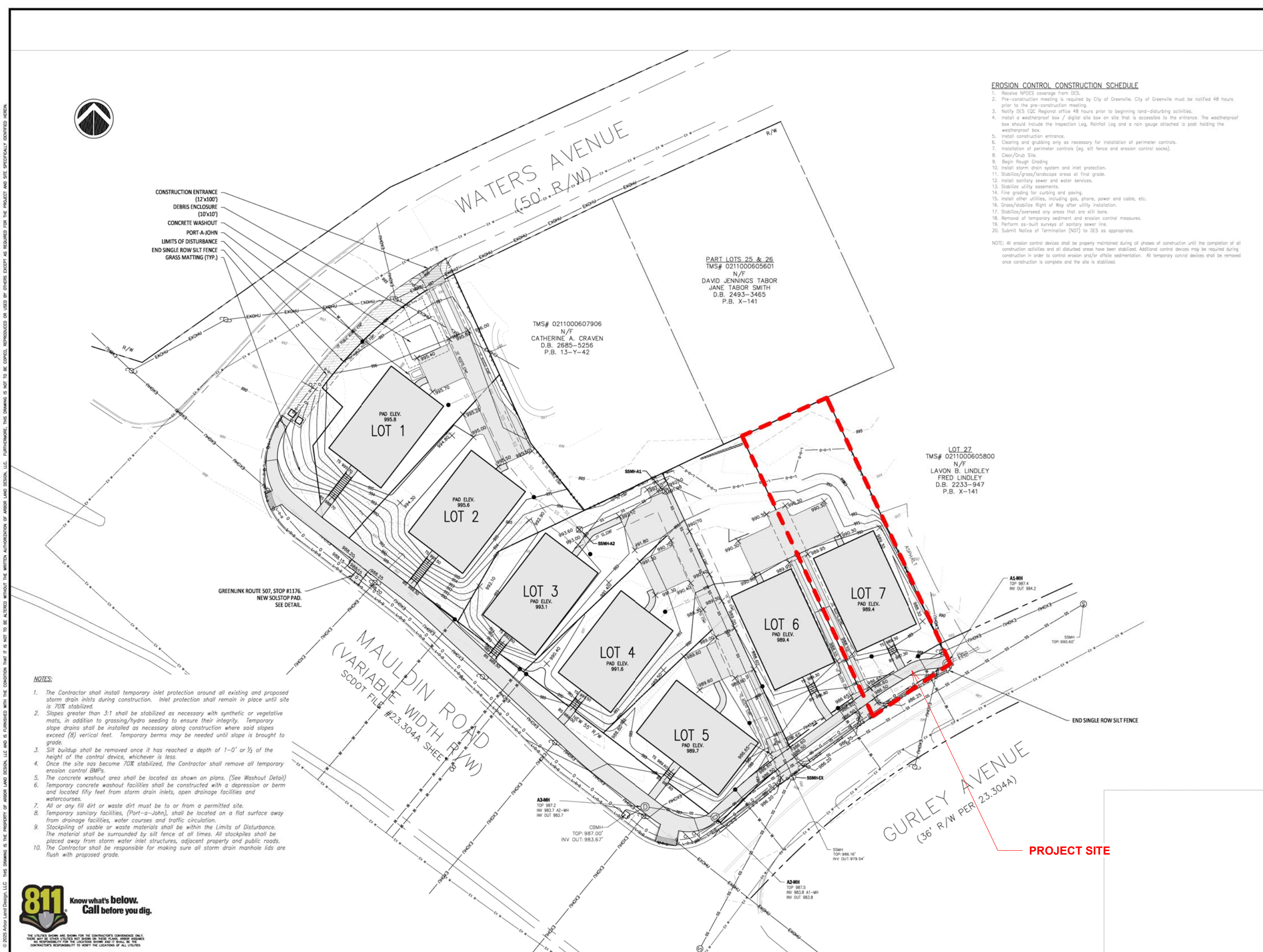
2-10 Development Code | Greenville, South Carolina October 14, 2024

RH-C



| | | | |
|-----------------------------------|--------------|-----------------------------------|--------------|
| 1. HEIGHT | Sec. 2.11.10 | 4. TRANSPARENCY | Sec. 2.11.13 |
| Overall height (max stories/feet) | 25 / 32' | Ground story (min) | 25% / 20% |
| Primary structure ^a | 2.5 / 32' | Upper story (min) | 15% / 15% |
| Accessory structure | 1.5 / 20' | Blank wall width (max) | 10' / 20' |
| 2. MASSING | Sec. 2.11.11 | 5. ENTRANCES | Sec. 2.11.14 |
| Building width (max) | 40' | Street-facing entry spacing (max) | 40' / 40' |
| Up to 60' wide lot | 50' | Entry feature | Yes / No |
| 61 to 80' wide lot | 60' | | |
| 81 to 100' wide lot | 70' | | |
| Above 100' wide lot | 70' | | |
| 3. GROUND STORY | Sec. 2.11.12 | | |
| Story height (min) | 9' | | |
| Finish floor elevation (min/max) | 0' / 5' | | |

October 14, 2024 Greenville, South Carolina | Development Code 2-11



ARBOR LAND DESIGN

7 GURLEY GREENVILLE SOUTH CAROLINA

GRADING & EROSION CONTROL PLAN

NOV 11 2023

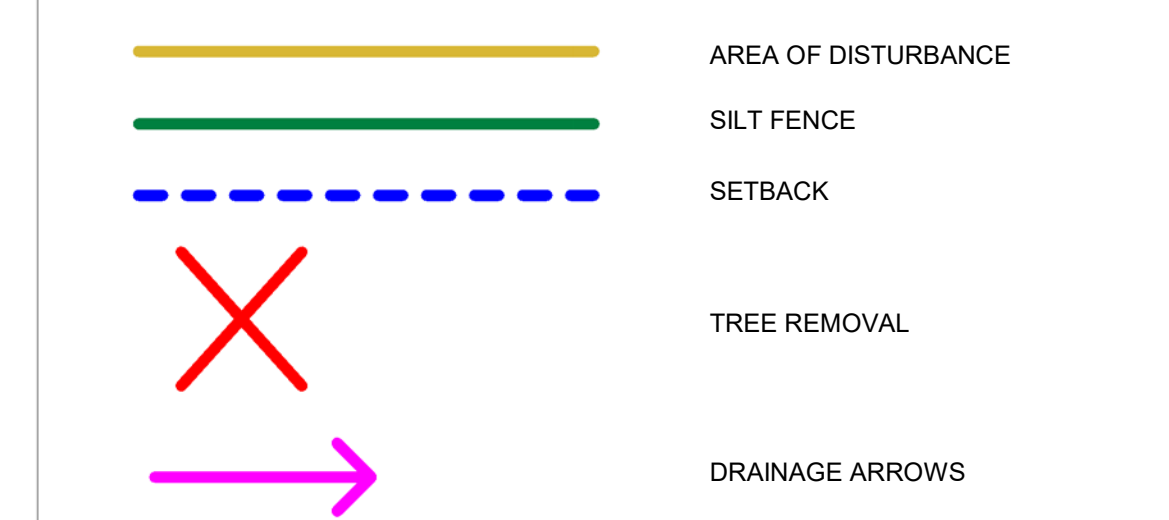
25086 7 of 18

C-100

SITE/ GRADING NOTES

- SITE/ GRADING PLAN AND NOTES ARE SCHEMATIC IN NATURE AND SHOULD BE REVIEWED WITH A SITE DESIGNER OR ENGINEER.
- THE DESIGN AND CONSTRUCTION SHOULD NOT CHANGE THE DRAINAGE PATTERNS ALONG THE PROPERTY LINE.
- CONTRACTOR SHALL ADJUST/ VERIFY ALL GRADES, FLOOR ELEVATIONS, STORM WATER SYSTEMS & DRAINAGE ON SITE AND AS THE SITE REQUIRES.
- PROVIDE TOOLED EXPANSION JOINT EVERY 20'-0" ALONG PATH OF NEW CONCRETE DRIVEWAYS.
- REFERENCE LANDSCAPE PLAN FOR EXACT Hardscape AND PLANTING MATERIAL, SIZING, AND LOCATION.

SITE LEGEND



AREA SUMMARY

| Level | Type | Area |
|------------|--------------------|----------|
| LEVEL 1 | FLOOR JOIST | 1,543 SF |
| LEVEL 2 | FLOOR JOIST | 957 SF |
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| NON-HEATED | | 297 SF |
| LEVEL 1 | DRIVEWAY | 664 SF |
| LEVEL 1 | PATH | 39 SF |
| SITE | | 703 SF |

BUILDING COVERAGE CALC: 1,814 SF 28.7%
TOTAL NEW IMPERVIOUS: 2,543 SF

VOLUME REQUIRED:
0.21 CU FT OF STONE AGGREGATE TRENCH PER SQ FT OF CONTAMINATED ROOF DRAINAGE AREA (1 CU FT PER 100 SF OF ROOF AREA)
2,543 SQ FT ROOF AREA X 0.21 = **534.03 FT³**

DIMENSIONS OF MFD:
DEPTH OF STONE MEDIA = **3 FT** (1.5 TO 3.0 FT)
WIDTH OF MFD TRENCH = **3 FT** (1.5 TO 3.0 FT)
TOTAL LENGTH OF MFD = **60 FT** (SITE SPECIFIC)

VOLUME PROVIDED:
3 FT X 3 FT X 60 FT = **540 FT³**

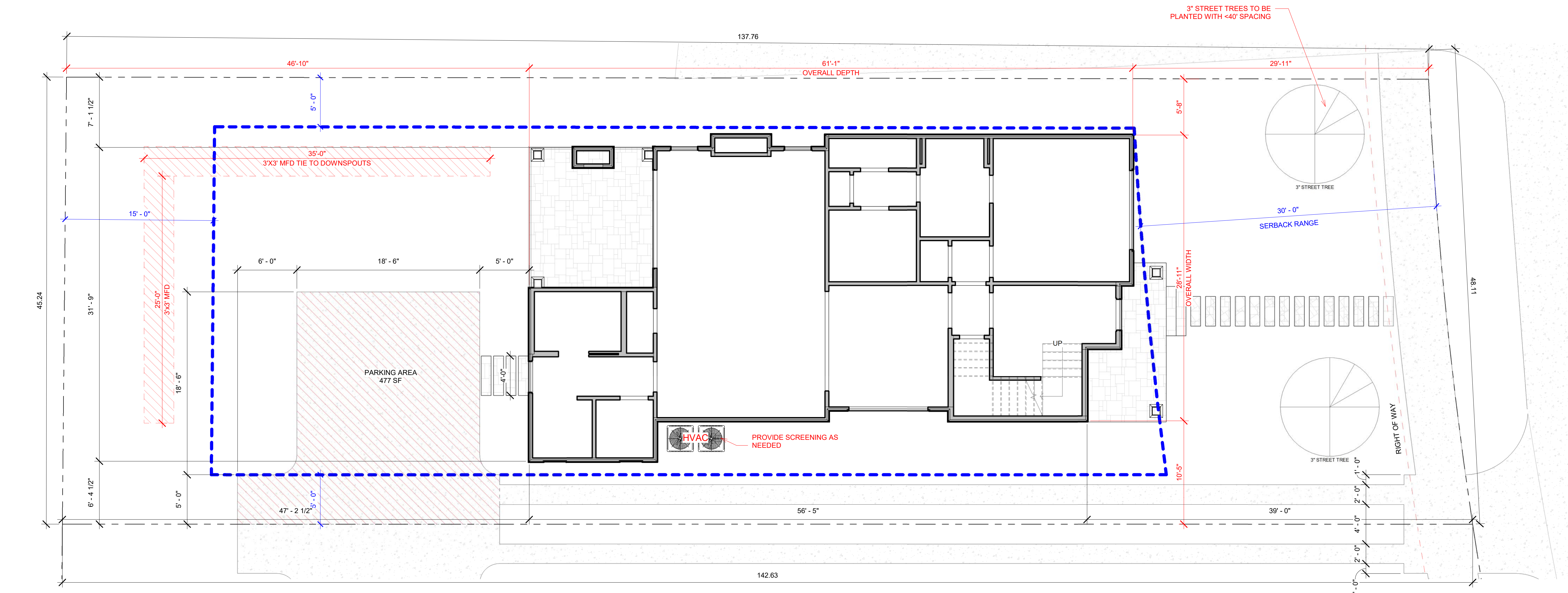
IS VOLUME PROVIDED > VOLUME REQUIRED?
YES (OVERNO)

MFD CROSS SECTION, LABEL TRENCH WIDTH AND STONE DEPTH DIMENSIONS BELOW

MFD SPECIFICATIONS:
1. INSPECT GUTTERS AND DOWNSPOUTS REMOVING ACCUMULATED LEAVES AND DEBRIS.
2. CLEANING LEAF REMOVAL SYSTEMS.
3. IF APPLICABLE, INSPECT PRETREATMENT DEVICES FOR SEDIMENT ACCUMULATION, REMOVE ACCUMULATED TRASH AND DEBRIS.
4. INSPECT MFD FOLLOWING A LARGE RAINFALL EVENT TO ENSURE OVERFLOW IS OPERATING AND FLOW IS NOT CAUSING EROSION OR FLOODING PROBLEMS.



TRANSPARENCY CALCULATIONS:
GROUND FLOOR - 29% TRANSPARENT: 87 SF TOTAL WALL: 300 SF
UPPER FLOOR - 29% TRANSPARENT: 77 SF TOTAL WALL: 265 SF



TREE MITIGATION

A portion of these trees shall be included with all tree protection and site plan. These required tree mitigation shall be shown on the site plan. These required tree mitigation shall be shown on the site plan, or incorporated through this table in all plans. The total of all trees shall be maintained at a minimum of 100 trees.

| Tree Inventory | Tree Mitigation |
|---|---|
| Number of Existing Trees Inventory: 100 | Number of Existing Trees Inventory: 100 |
| Number of Trees to be Removed: 10 | Number of Trees to be Removed: 10 |
| Number of Trees to be Replaced: 10 | Number of Trees to be Replaced: 10 |

TOTAL TREE REQUIRED FOR 1:1 REPLACEMENT AND PRESERVE TREE FEES:

- 100 Existing Trees Inventory
- 10 Trees to be Removed
- 10 Trees to be Replaced
- 100 Existing Trees Inventory
- 10 Trees to be Removed
- 10 Trees to be Replaced

1 SITE PLAN 3/16" = 1'-0"

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REVISION SCHEDULE

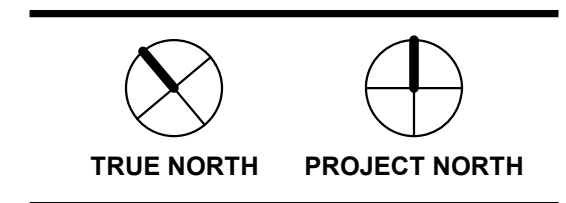
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GURLEY AVE | LOT 7

JEFF MCGEEHEE GREENVILLE, SC

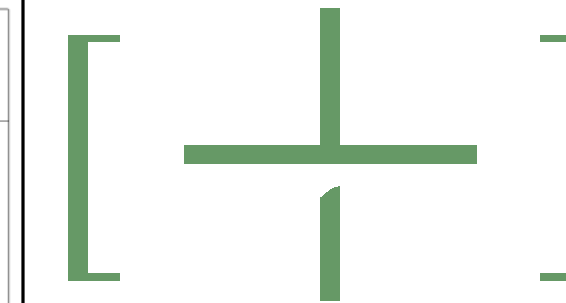
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ARCHITECTURAL SITE PLAN

AS1.00



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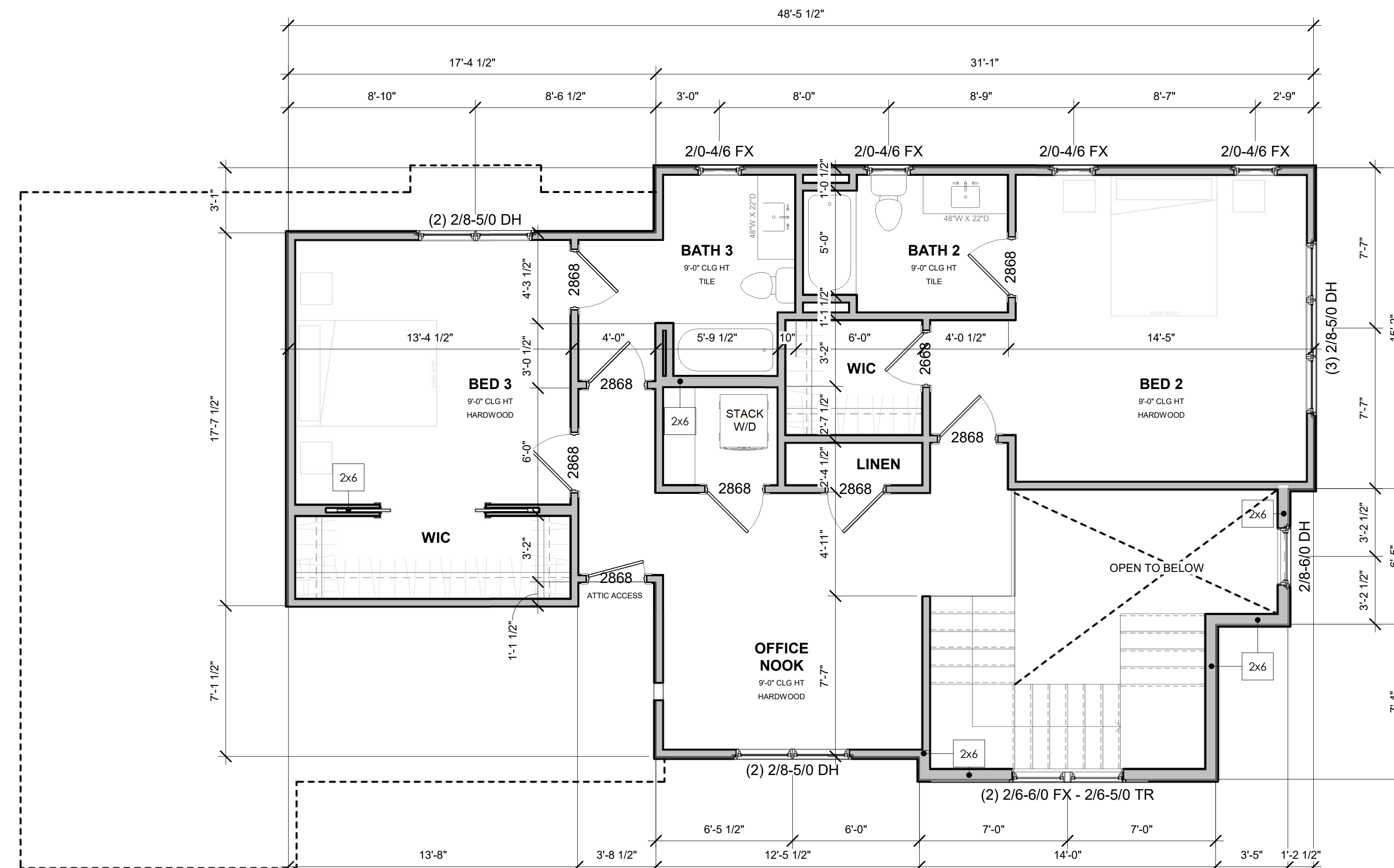
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FLOOR PLAN NOTES

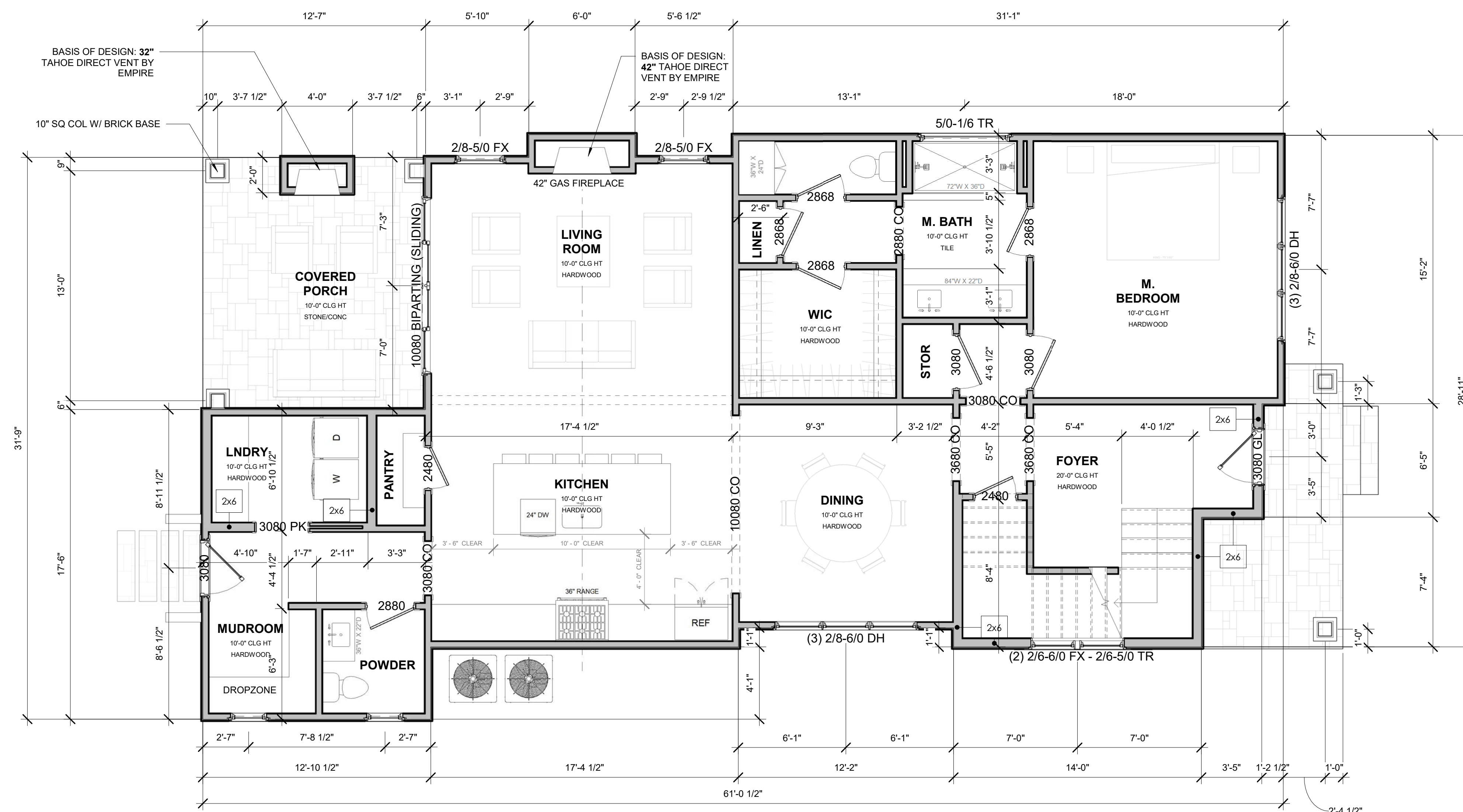
- INTERIOR PARTITIONS ARE DIMENSIONED TO FACE OF STUD UNLESS NOTED OTHERWISE.
- ALL INTERIOR PARTITIONS TO BE 2X4 WOOD STUD (M.B4) UNLESS NOTED OTHERWISE.
- ALL WALLS CONTAINING PLUMBING VENTS, POCKET DOORS, AND/OR GREATER THAN 10' IN HEIGHT SHALL BE 2X6 STUDS (A6.B6) OR GREATER.
- PROVIDE 20 MIN RATED DOOR BETWEEN GARAGE AND HABITABLE LIVING AREAS.
- PROVIDE 5/8" TYPE X GYPSUM WALL BOARD ON WALLS AND CEILINGS IN ALL GARAGES.
- APPLIANCES, FURNITURE AND EQUIPMENT ARE SHOWN FOR REFERENCE ONLY. NOT IN CONTRACT.
- THESE DRAWINGS ARE TO BE USED ONLY AS A BASIS OF DESIGN. GC IS RESPONSIBLE FOR COORDINATION WITH ALL PROPER DETAILING AND INSTALLATION BASED ON OWNER SELECTED SPECS.
- FINISHES TO BE SELECTED BY OTHERS.
- GYPSUM BOARD TO BE INSTALLED PER MANUFACTURER'S STANDARD SPECIFICATIONS AND INCLUDE CONTROL JOINTS EVERY 30'-0" MAXIMUM BOTH VERTICAL AND HORIZONTAL.
- PROVIDE WOOD BLOCKING IN PARTITIONS AT ALL LOCATIONS WHERE WORK SURFACES, SHELVING, BRACKETS, DISPLAYS, GRAB BARS AND/OR EQUIPMENT WILL BE MOUNTED OR ATTACHED TO FACE OF WALL FOR STRUCTURAL STABILITY. SEE FLOOR PLANS AND INTERIOR ELEVATIONS FOR LOCATIONS. WOOD BLOCKING SHALL BE FIRE-TREATED LUMBER WHEN REQUIRED BY THE BUILDING CODE.
- ALL PENETRATIONS THROUGH FIRE RATED PARTITIONS, FIRE RATED CEILING ASSEMBLIES SHALL BE INSTALLED ACCORDING TO U.L. STANDARDS AND PER APPLICABLE CODES FOR REQUIRED HOUR FIRE RATED CONSTRUCTION.
- ISOLATE DISSIMILAR METALS TO PREVENT GALVANIC CORROSION.
- LOCATE ALL INTERIOR DOOR FRAMES IN STUD WALLS 6" FROM HINGE JAMB TO ADJACENT WALL UNLESS NOTED OTHERWISE.
- CONTRACTOR TO FIELD VERIFY EXACT ATTIC ACCESS DOORS ON SITE.

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| Level | Type | Area |
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| LEVEL 1 | PATH | 39 SF |
| SITE | | 703 SF |



2 LEVEL 2
1/4" = 1'-0"



1 LEVEL 1
1/4" = 1'-0"

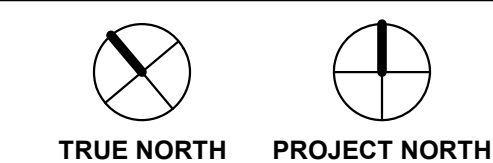
GURLEY AVE | LOT 7

JEFF MCGEHEE
GREENVILLE, SC

TMS: 0211000607905 0211000607902
PROJECT: 25148

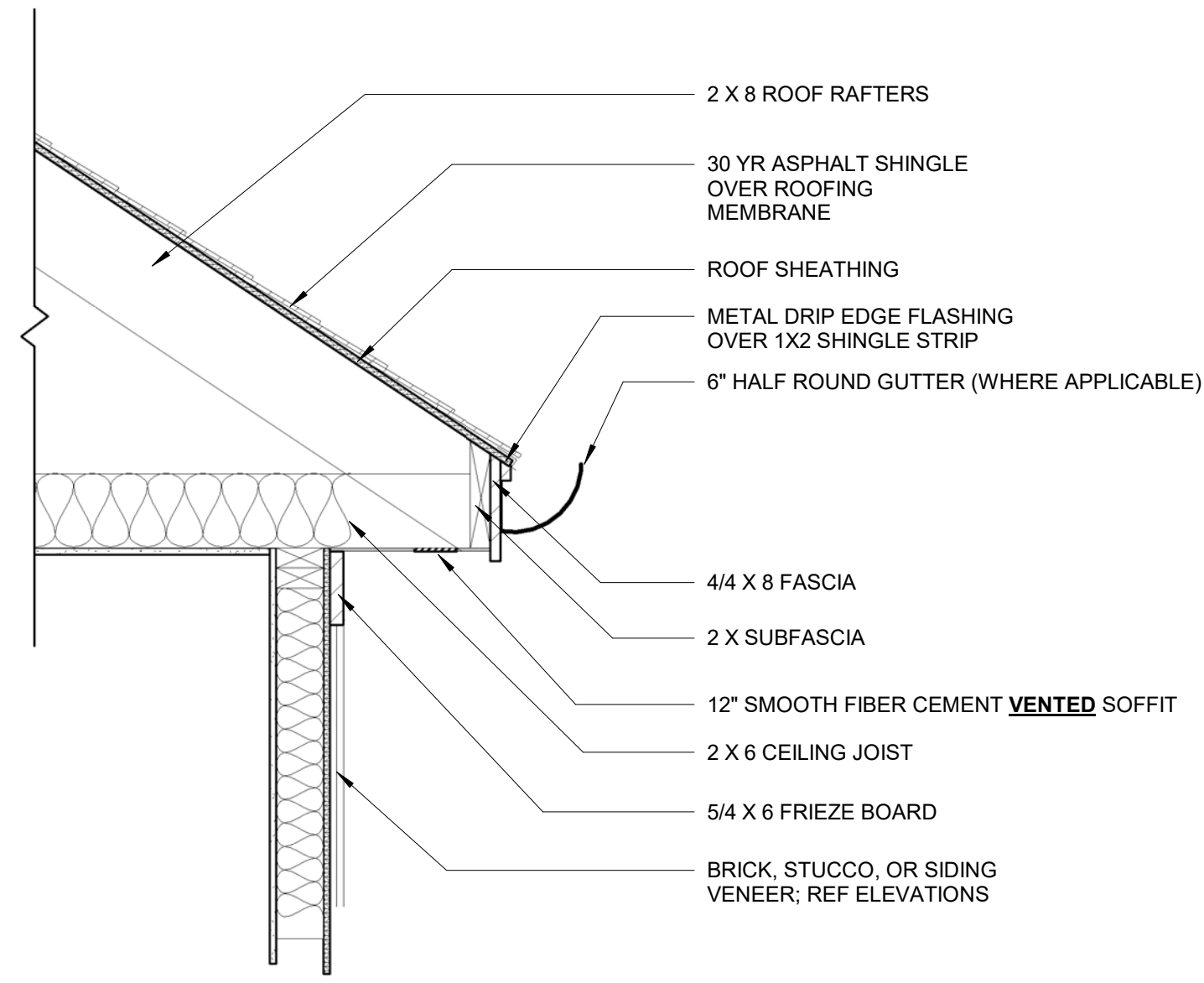
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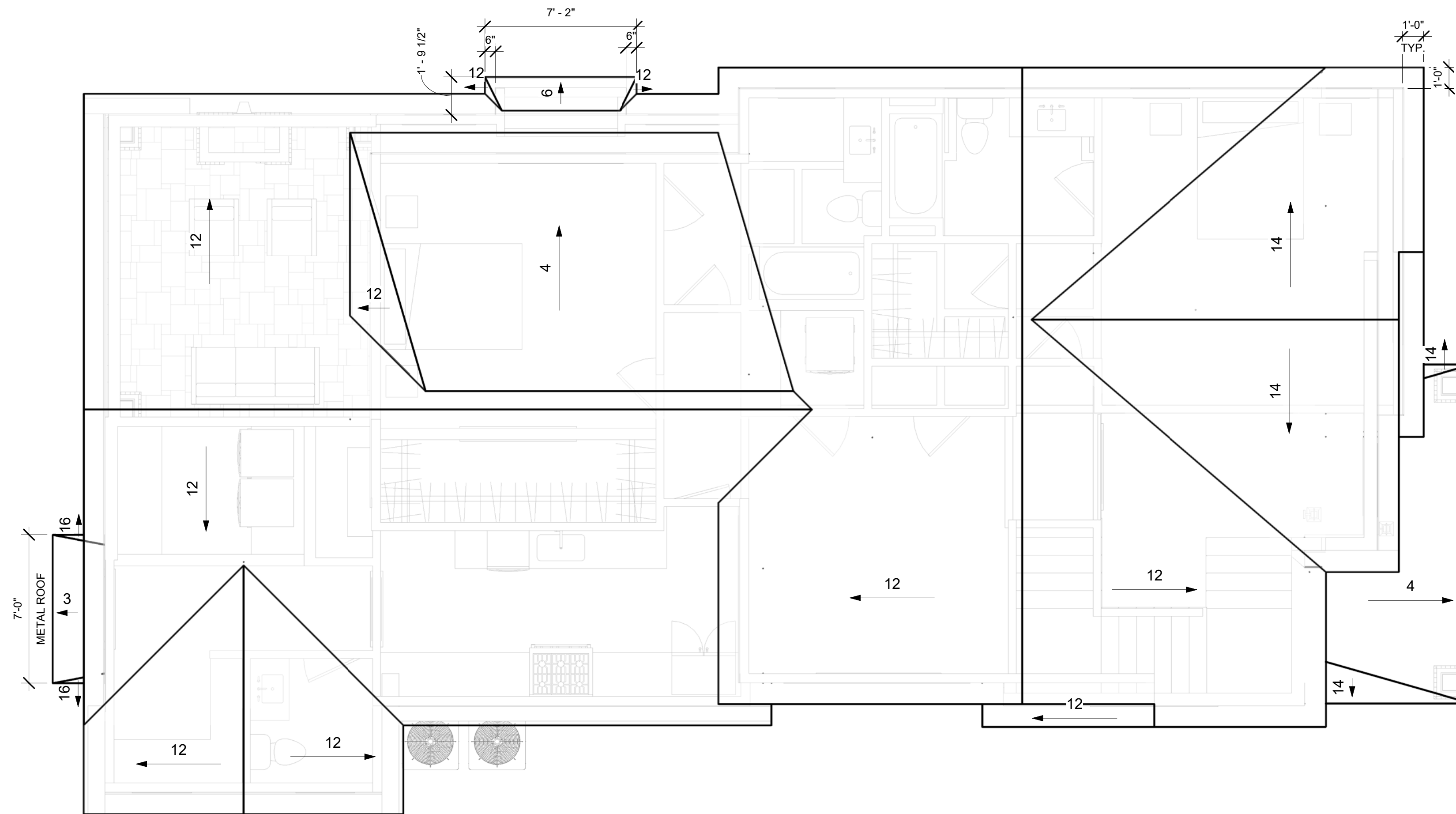


FLOOR PLANS

A1.01



1 FASCIA/FRIEZE DETAIL
 1/4" = 1'-0"



2 ROOF
 1/4" = 1'-0"

ROOF PLAN NOTES

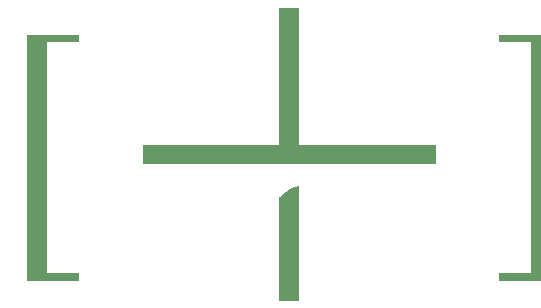
1. PROVIDE ALUMINUM FLASHING AT ALL ROOF TO WALL INTERSECTIONS.
2. PROVIDE VALLEY FLASHING PER MANUFACTURER'S DETAILS.
3. FIELD VERIFY ALL DOWNSPOUT LOCATIONS WITH ARCHITECT.
4. ALL VENT STACKS AND EQUIPMENT TO MATCH ROOF COLOR.
5. PROVIDE SPLASH GUARDS AT ALL VALLEY TERMINATIONS.
6. INSTALL ICE AND WATER SHIELD ON ALL VALLEYS, EAVES, RAKE EDGES, LOW SLOPES (4:12 & BELOW) & CRICKET AREAS PRIOR TO INSTALLING ROOF FELT. EXTEND 24" INWARD FROM INTERIOR FACE OF EXTERIOR WALL.
7. ROUTE ALL PLUMBING VENTS & ROOF PENETRATIONS TO THE REAR OF THE STRUCTURE TO PREVENT SEEING FROM THE FRONT ELEVATION. EXTEND ALL PENETRATIONS, CURBS, AND COMPONENTS A MINIMUM OF 8" ABOVE THE ROOF SURFACE. PROVIDE 12" CLEAR DISTANCE BETWEEN PENETRATIONS AND TO ANY VERTICAL SURFACE.
8. PROVIDE PREFINISHED METAL DRIP EDGE WITH SHINGLES.
9. ALL FLASHING, UNDERLAYMENT AND SHINGLES SHALL BE INSTALLED IN A WEATHER LAPPED FASHION.
10. INSTALL ALL ROOFING PRODUCTS IN ACCORDANCE WITH APPLIED BUILDING CODES, INDUSTRY STANDARDS AND MANUFACTURER'S LATEST RECOMMENDATIONS AND INSTALLATION INSTRUCTIONS.

| REVISION SCHEDULE | | |
|-------------------|-------------------|----------|
| NO | DESCRIPTION | DATE |
| A | ISSUED FOR PERMIT | 03.09.26 |

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REVISION SCHEDULE

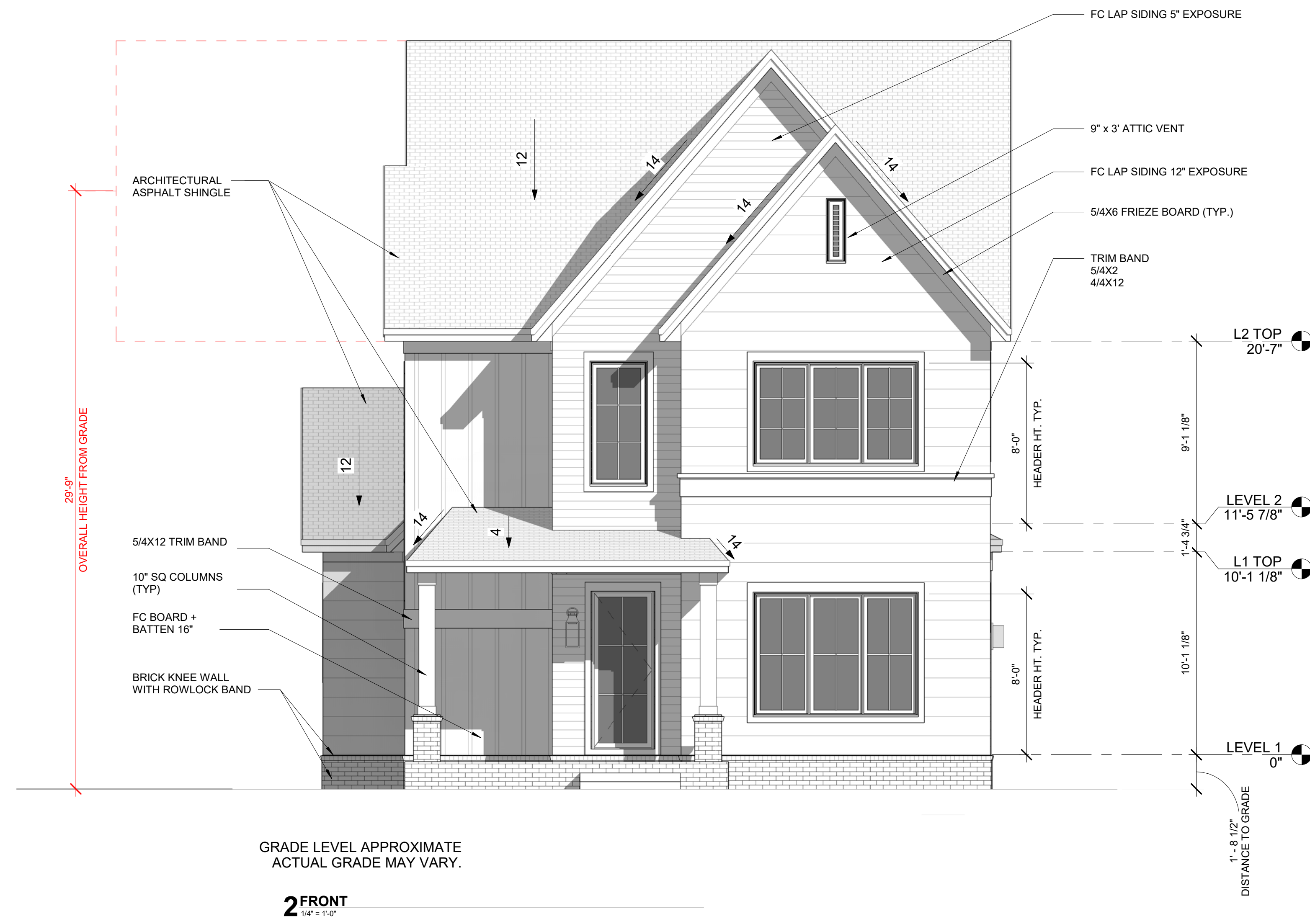
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EXTERIOR NOTES

TYPICAL SIDING DETAILS (TYPICAL)

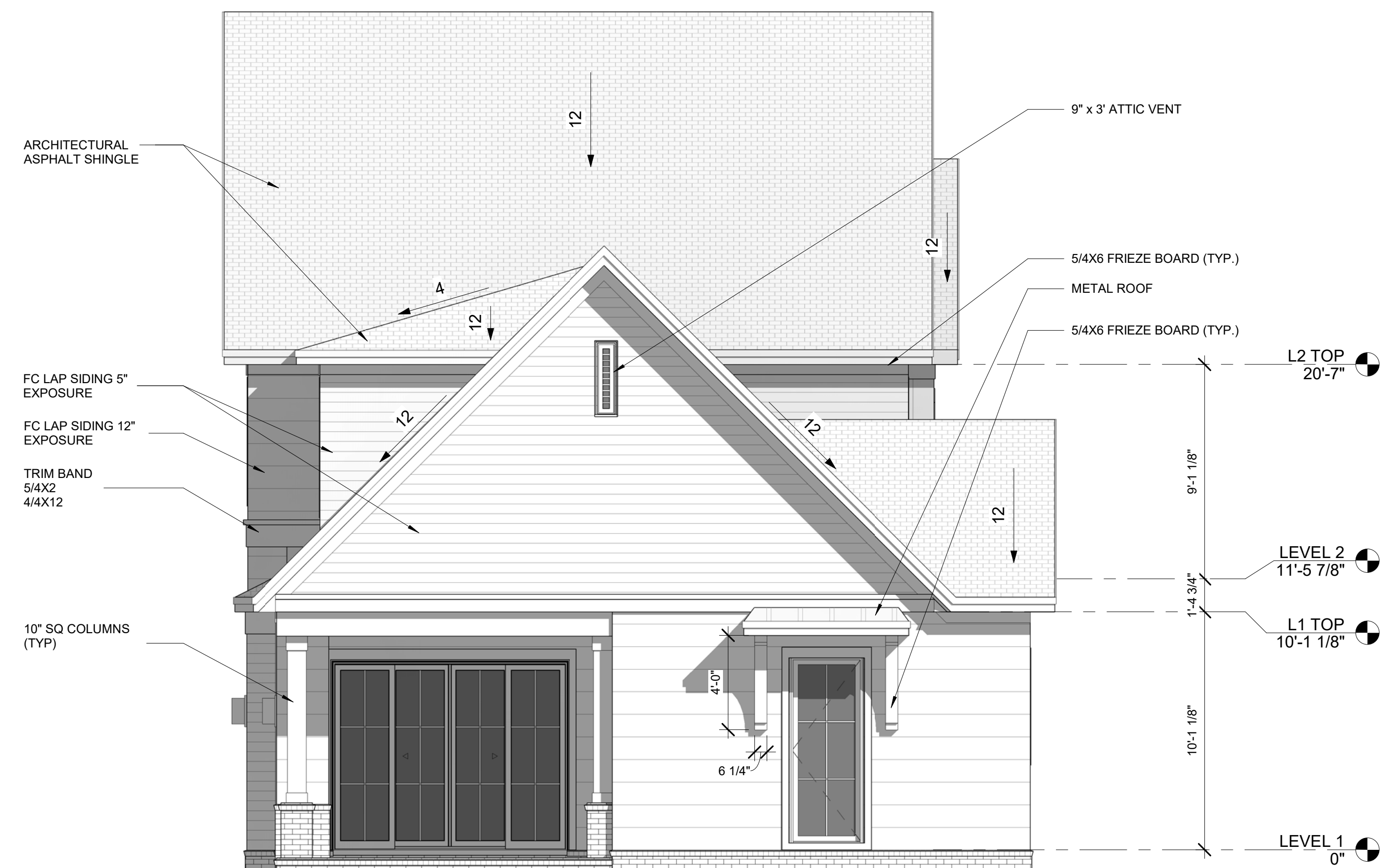
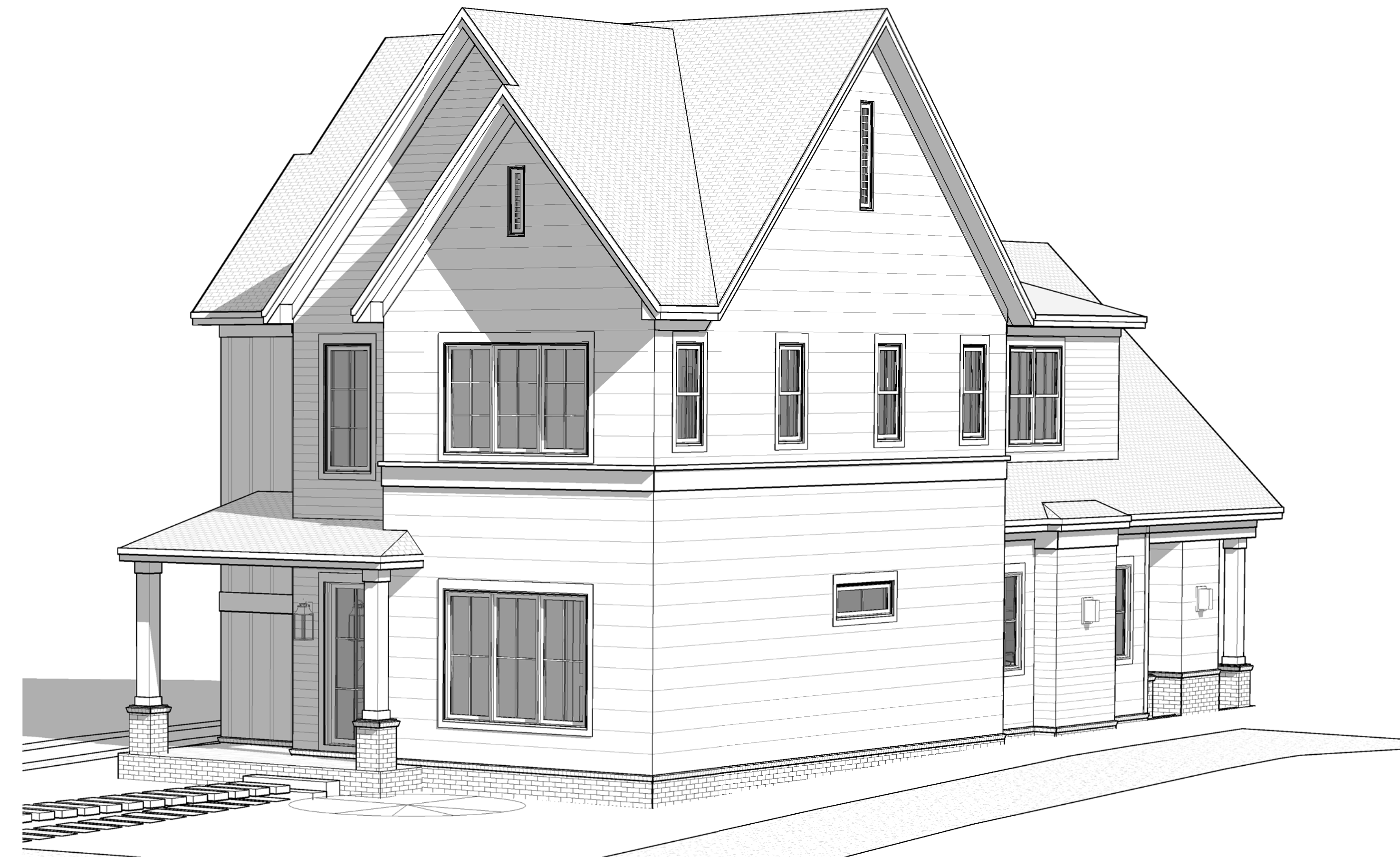
- EXTERIOR WINDOWS/DOORS
 - LEGS - 5/4 X 4
 - SILL - 5/4 X 4
 - HEADER - 5/4 X 6
- FRIEZE
 - 5/4 X 8
 - CROWN - EC40
- FASCIA (2 STEP)
 - 4/4 X 8
 - 4/4 X 4

- INSTALL ALL EXTERIOR WINDOWS AND DOOR AS RECOMMENDED BY MANUFACTURER'S INSTALLATION INSTRUCTIONS. SEAL FASTENER HEADS, SHANKS AND THREADS WITH SEALANT RECOMMENDED BY MANUFACTURER.
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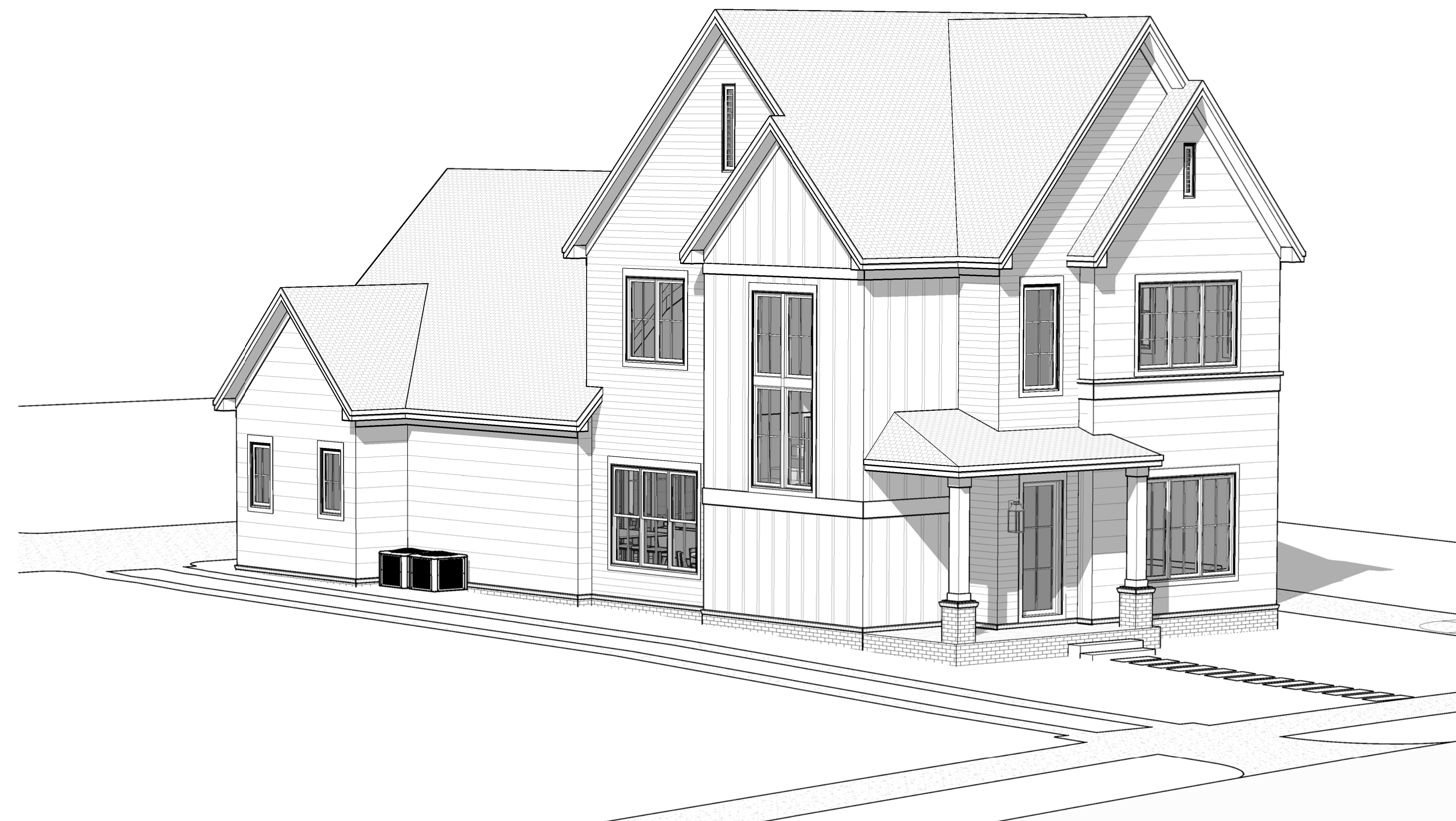
GRADE LEVEL APPROXIMATE
ACTUAL GRADE MAY VARY.

2 FRONT
1/8" = 1'-0"



GRADE LEVEL APPROXIMATE
ACTUAL GRADE MAY VARY.

1 BACK
1/8" = 1'-0"



TMS: 0211000607905 0211000607902

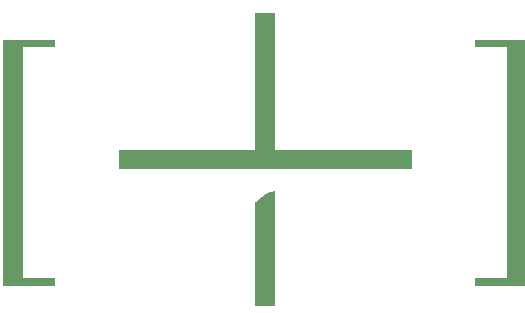
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EXTERIOR
ELEVATIONS

A2.00



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REVISION SCHEDULE

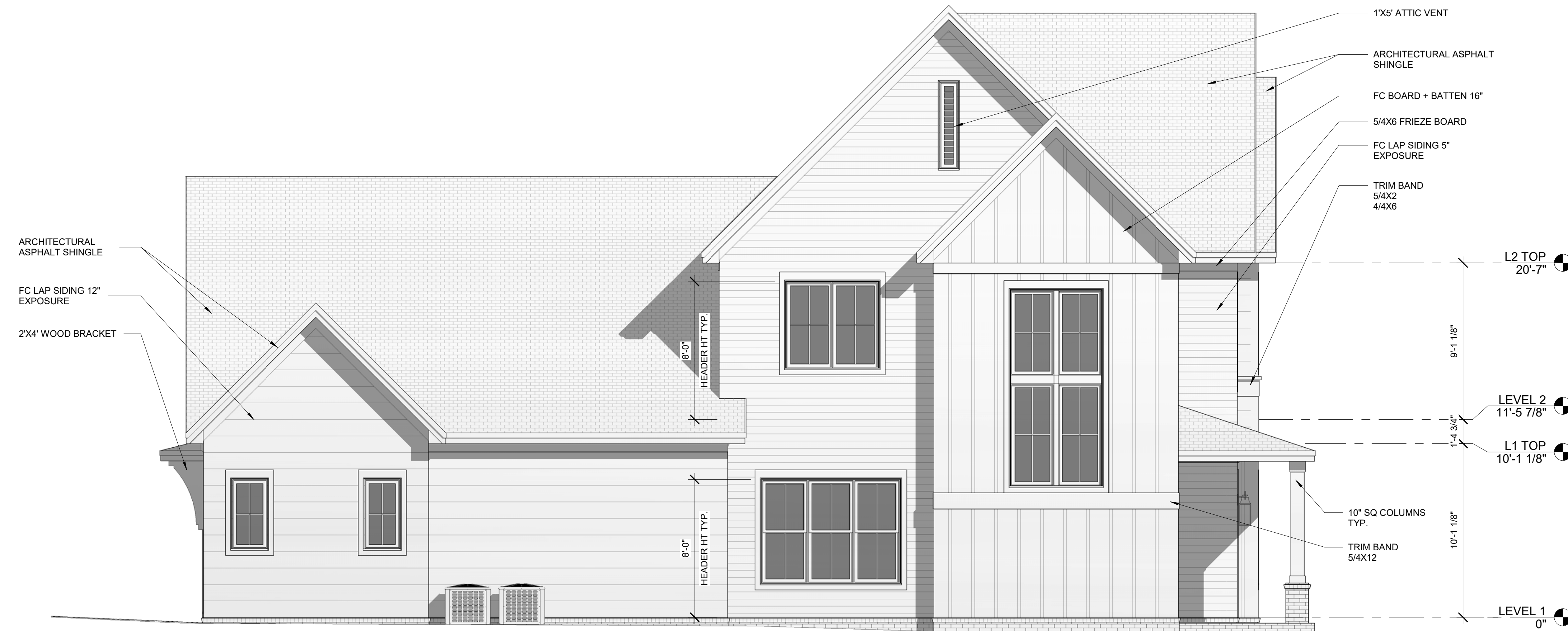
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EXTERIOR NOTES

TYPICAL SIDING DETAILS (TYPICAL)

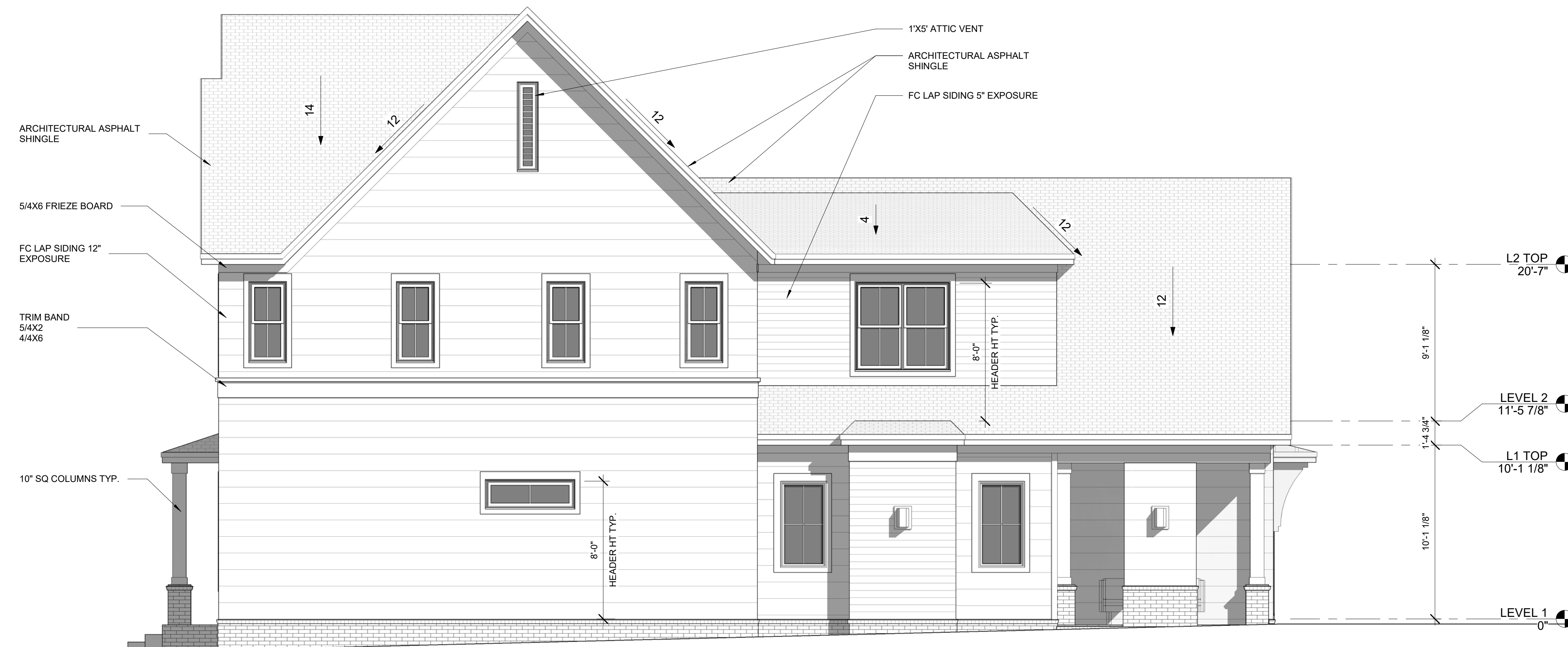
- EXTERIOR WINDOWS/DOORS
 - LEGS - 5/4 X 4
 - SILL - 5/4 X 4
 - HEADER - 5/4 X 6
- FRIEZE
 - 5/4 X 8
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 - 4/4 X 8
 - 4/4 X 4

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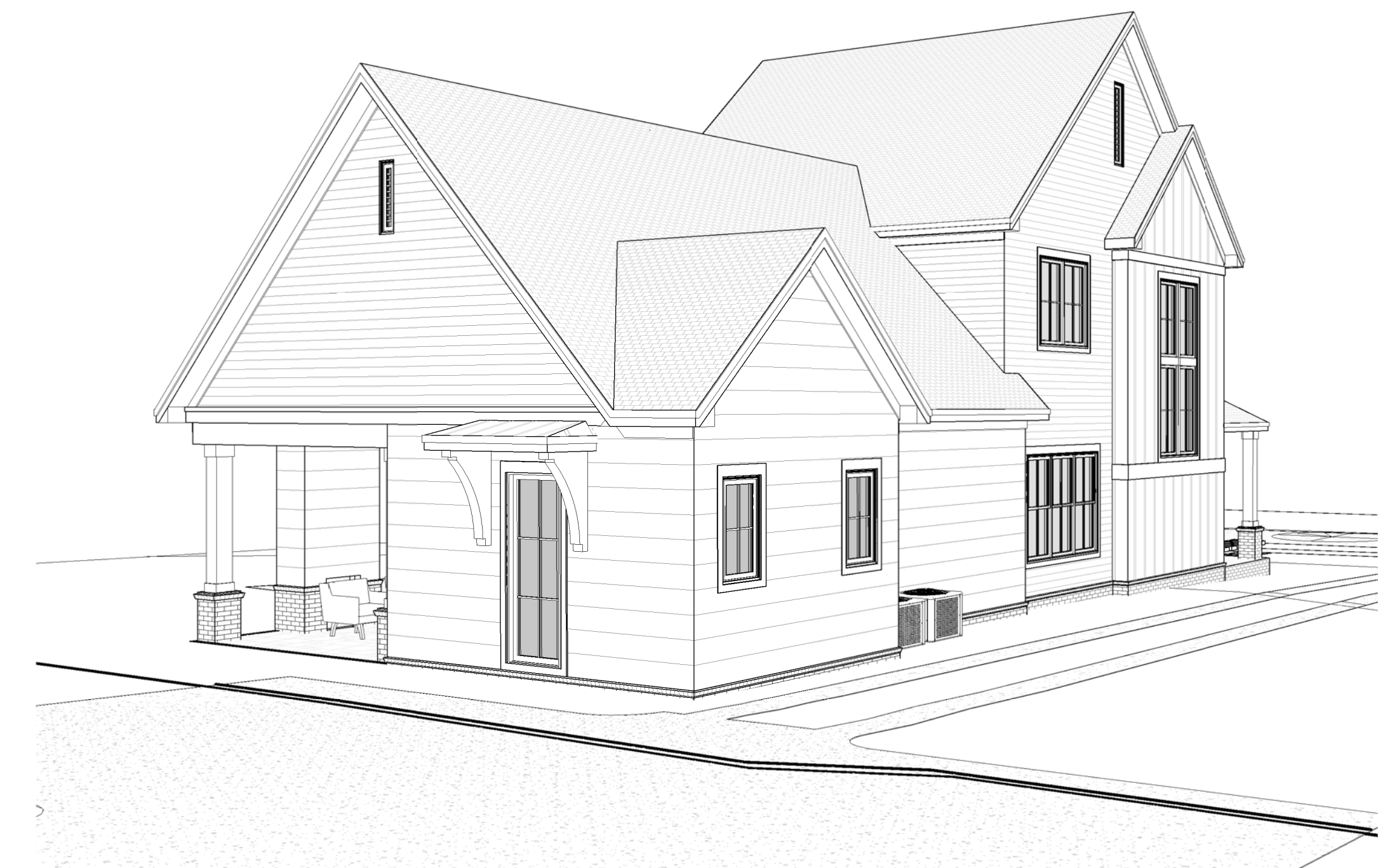
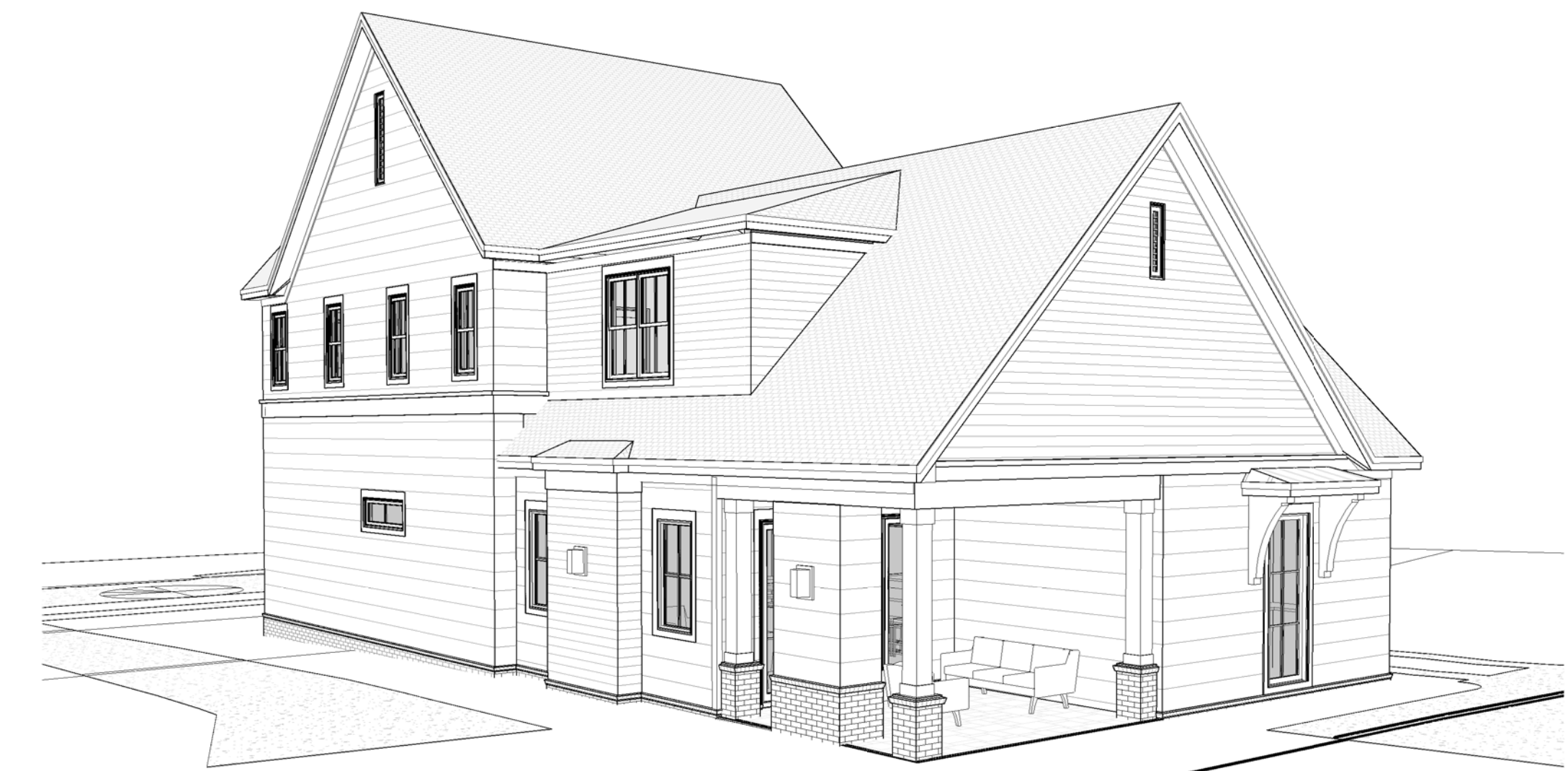
GRADE LEVEL APPROXIMATE
ACTUAL GRADE MAY VARY.

1 LEFT
1/4" = 1'-0"



GRADE LEVEL APPROXIMATE
ACTUAL GRADE MAY VARY.

2 RIGHT
1/4" = 1'-0"



GURLEY AVE | LOT 7

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EXTERIOR
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