

SELLER'S DISCLOSURE STATEMENT

Property Address: 7215 South Cedarview Lane, Cedar, MI 49621 Centerville Michigan
Street City/Village/Township

Purpose of Statement: This statement is a disclosure of the condition of the property in compliance with the Seller Disclosure Act. This statement is a disclosure of the condition and information concerning the property, known by the Seller. Unless otherwise advised, the Seller does not possess any expertise in construction, architecture, engineering, or any other specific area related to the construction or condition of the improvements on the property or the land. Also, unless otherwise advised, the Seller has not conducted any inspection of generally inaccessible areas such as the foundation or roof. This statement is not a warranty of any kind by the Seller or by any Agent representing the Seller in this transaction, and is not a substitute for any inspections or warranties the buyer may wish to obtain.

Seller's Disclosure: The Seller discloses the following information with the knowledge that even though this is not a warranty, the Seller specifically makes the following representations based on the Seller's knowledge at the signing of this document. Upon receiving this statement from the Seller, the Seller's Agent is required to provide a copy to the Buyer or the Agent of the Buyer. The Seller authorizes its agent(s) to provide a copy of this statement to any prospective Buyer in connection with any actual or anticipated sale of property. The following are representations made solely by the Seller and are not the representations of the Seller's Agent(s), if any. This information is a disclosure only and is not intended to be a part of any contract between Buyer and Seller.

Instructions to the Seller: (1) Answer ALL questions. (2) Report known conditions affecting the property. (3) Attach additional pages with your signature if additional space is required. (4) Complete this form yourself. (5) If some items do not apply to your property, check NOT AVAILABLE. If you do not know the facts, check UNKNOWN. FAILURE TO PROVIDE A PURCHASER WITH A SIGNED DISCLOSURE STATEMENT WILL ENABLE A PURCHASER TO TERMINATE AN OTHERWISE BINDING PURCHASE AGREEMENT.

Appliances/Systems/Services: The items below are in working order. (The items listed below are included in the sale of the property only if the purchase agreement so provides):


Item	Yes	No	Unknown	Not Available
Range/Oven	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Dishwasher	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Refrigerator	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Hood/fan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Disposal	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
TV antenna, TV rotor & Controls	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Electrical system	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Garage door opener & remote control	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Alarm System	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Intercom	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Central Vacuum	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Attic Fan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Pool heater, wall liner, & equipment	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Microwave	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Trash Compactor	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Ceiling Fan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Sauna/Hot Tub	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Washer	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Item	Yes	No	Unknown	Not Available
Dryer	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Lawn sprinkler system	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Water Heater	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Plumbing system	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Water softener/ conditioner	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Well & Pump	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Septic tank & drain field	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sump Pump	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
City Water System	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
City Sewer System	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Central Air Conditioning	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Central Heating System	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Wall Furnace	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Humidifier	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Electronic Air Filter	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Solar Heating System	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Fireplace & Chimney	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Wood Burning System	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Explanations (Attach additional sheets if necessary):

Buyer's Initials

Seller's Initials

	 <small>05/01/26 8:36 PM EDT dotloop verified</small>		
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UNLESS OTHERWISE AGREED, ALL HOUSEHOLD APPLIANCES ARE SOLD IN WORKING ORDER EXCEPT AS NOTED, WITHOUT WARRANTY BEYOND DATE OF CLOSING:

Property Conditions, Improvements & Additional Information:

1. Basement/crawl space: Has there been evidence of water? Yes No
If yes, Please explain

2. Insulation: Describe, if known, blown/fiber
Urea Formaldehyde Foam Insulation (UFFI) Is Installed? Unknown Yes No

3. Roof: Leaks? Yes No
Approximate age if known 2023

4. Well: Type of well (depth/diameter, age, and repair history, if known) None known
Has the water been tested? Yes No

If yes, date of last report/results 5/26 passed

5. Septic Tanks/drain fields: Condition, if known: 5/26 passed

6. Heating System: Type/approximate age: 2020

7. Plumbing System: Type Copper Galvanized Other copper/pex
Any known problems? none known

8. Electrical System: Any known problems? none known

9. History of Infestation, if any: termites, carpenter ants, etc.) none known

10. Environmental Problems: Are you aware of any substances, materials, or products that may be an environmental hazard such as, but not limited to, asbestos, radon gas, formaldehyde, lead-based paint, fuel, or chemical storage tanks and contaminated soil on the property.

Unknown Yes No

If yes, please explain:

Radon mitigation installed

11. Flood Insurance: Do you have flood insurance on the property? Unknown Yes No

12. Mineral rights: Do you own the mineral rights? Unknown Yes No

Other Items: Are you aware of any of the following?

1. Features of the property shared in common with the adjoining landowners, such as walls, fences, roads, and driveways, or other features whose use or responsibility for maintenance may have an effect on the property?

Unknown Yes No

2. Any encroachments, easements, zoning violations, or nonconforming uses? Unknown Yes No

3. Any "common" areas (facilities like pools, tennis courts, walkways, or other areas co-owned with others), or a homeowners' association that has any authority over the property?

Unknown Yes No

4. Structural modifications, alterations, or repairs made without necessary permits or licensed contractors? Unknown Yes No

5. Settling, flooding, drainage, structural or grading problems? Unknown Yes No

6. Major damage to the property from fire, wind, floods, or landslides? Unknown Yes No

7. Any underground storage tanks? Unknown Yes No

8. Farm or farm operation in the vicinity; or proximity to a landfill, airport, shooting range, etc.?

Unknown Yes No

Buyer's Initials _____ Seller's Initials MS/MS

06/01/26
8:36 PM EDT
dotloop verified

In 2022, basement walls were professionally reinforced by a licensed contractor. Repairs were completed and seller is not aware of any current structural or water intrusion issues. Documentation attached.

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9. Any outstanding utility assessments or fees , including any natural gas main extension surcharge?

Unknown Yes No

10. Any outstanding municipal assessments or fees?

Unknown Yes No

11. Any pending litigation that could affect the property or the Seller's right to convey the property?

Unknown Yes No

If the answer to any of these questions is yes, please explain. Attach additional sheets if necessary.

The Seller has lived in the residence on the property from 2022 (date) to present (date). The Seller has owned the property since July 2022 (date). The seller has indicated above the conditions of all the items based on information known to the Seller. If any changes occur in the structural/mechanical/appliance systems of this property from the date of this form to the date of closing, Seller will immediately disclose the changes to buyer. In no event shall the parties hold the broker liable for any representations not directly made by the Broker or Broker's Agent.

Seller certifies that the information in this statement is true and correct to the best of Seller's knowledge as of the date of Seller's signature.

BUYER SHOULD OBTAIN PROFESSIONAL ADVICE AND INSPECTIONS OF THE PROPERTY TO MORE FULLY DETERMINE THE CONDITION OF THE PROPERTY. THESE INSPECTIONS SHOULD TAKE INDOOR AIR AND WATER QUALITY INTO ACCOUNT, AS WELL AS ANY EVIDENCE OF UNUSUALLY HIGH LEVELS OF POTENTIAL ALLERGENS INCLUDING, BUT NOT LIMITED TO, HOUSEHOLD MOLD, MILDEW AND BACTERIA.

BUYERS ARE ADVISED THAT CERTAIN INFORMATION COMPILED PURSUANT TO THE SEX OFFENDERS REGISTRATION ACT, 1994 PA 295, MCL 28.721 TO 28.732, IS AVAILABLE TO THE PUBLIC. BUYERS SEEKING THAT INFORMATION SHOULD CONTACT THE APPROPRIATE LOCAL LAW ENFORCEMENT AGENCY OR SHERIFF'S DEPARTMENT DIRECTLY.

BUYER IS ADVISED THAT THE STATE EQUALIZED VALUE OF THE PROPERTY, RESIDENCE EXEMPTION INFORMATION, AND OTHER REAL PROPERTY TAX INFORMATION IS AVAILABLE FROM THE APPROPRIATE LOCAL ASSESSOR'S OFFICE. BUYER SHOULD NOT ASSUME THAT BUYER'S FUTURE TAX BILLS ON THE PROPERTY WILL BE THE SAME AS THE SELLER'S PRESENT TAX BILLS. UNDER MICHIGAN LAW, REAL PROPERTY TAX OBLIGATIONS CAN CHANGE SIGNIFICANTLY WHEN PROPERTY IS TRANSFERRED.

Seller Mike/Any Slancik dotloop verified
06/01/26 8:36 PM EDT
65QG-FOZN-FQFD-NGXH

Date _____

Seller _____

Date _____

Buyer has read and acknowledges receipt of this statement

Buyer _____

Date _____ Time _____

Buyer _____

Date _____ Time _____

CLEAR

EMAIL

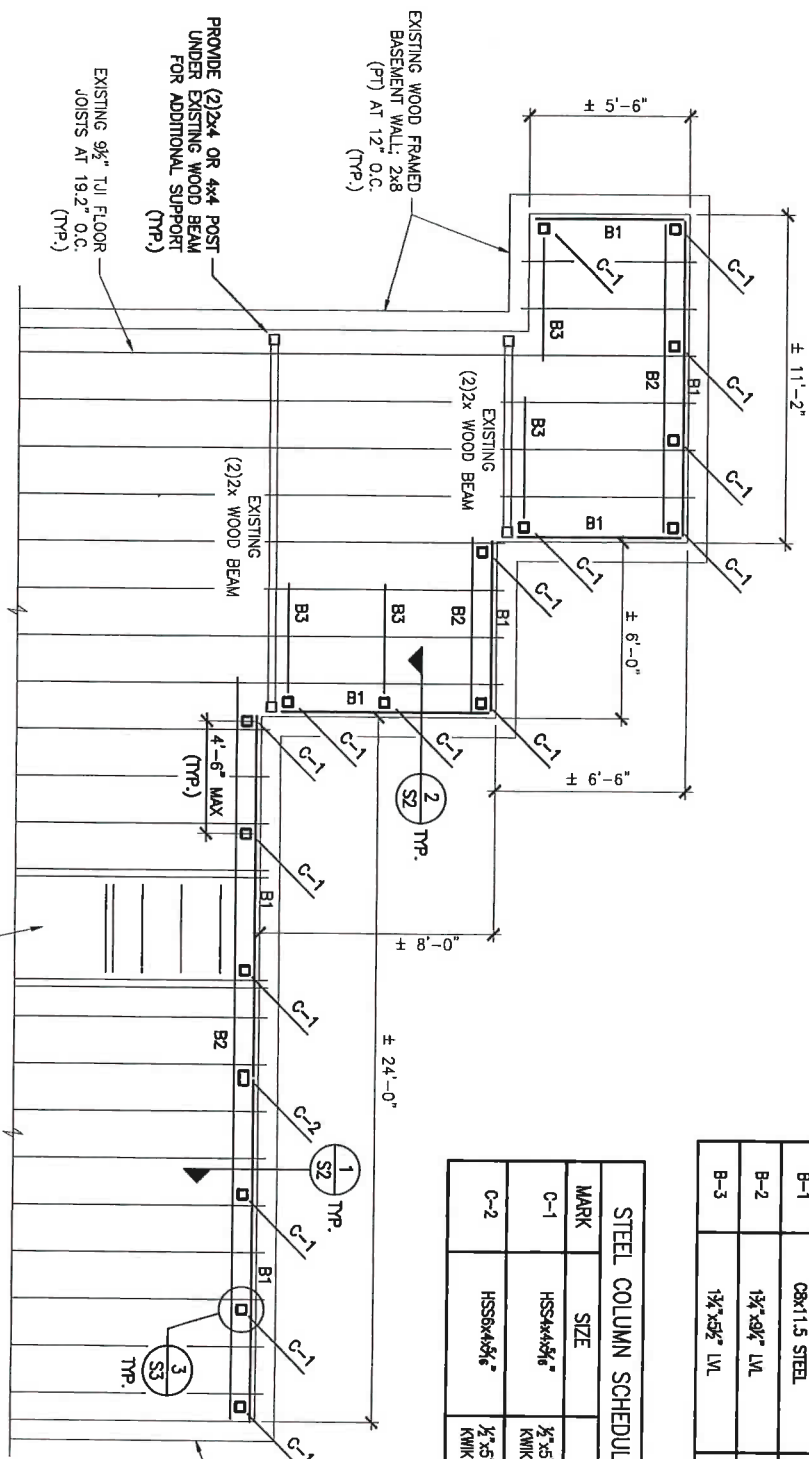
Other items:

5. Settling modifications, alterations, drainage, structural or grading problems: Current buyer's home inspection at time of purchase showed wall movement at the top of the basement walls located at the front door side of the home. Cause was noted as hydrostatic pressure due to no gutters or troughs to move rain/snow away from home. Issue was fixed by:

- a. Gutters and troughs installed by Michigan Gutter.
- b. Grading away from home by current homeowner.
- c. Basement "steel caged" to prevent further wall movement.
 - i. Caging design by Wieland Engineering.
 - ii. Steel purchased by Actron Steel.
 - iii. Install by Hubbell Welding Services.

*All receipts and designs available for viewing.

No further issues known.



BASEMENT WALL REINFORCING AT:
EX. MAIN FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"

BEAM SCHEDULE 'B-X'		NOTES
MARK	SIZE	
B-1	08x11.5 STEEL	
B-2	1 1/2"x9 1/2" LVL	
B-3	1 1/2"x5 1/2" LVL	

STEEL COLUMN SCHEDULE 'C-X'		
MARK	SIZE	BASE PLATE
C-1	HSS4x4x5/16"	1/2"x5"x10" w/ (2) 1/2" HILTI Kwik HUS SCREW ANCHORS
C-2	HSS6x4x5/8"	1/2"x5"x12" w/ (2) 1/2" HILTI Kwik HUS SCREW ANCHORS

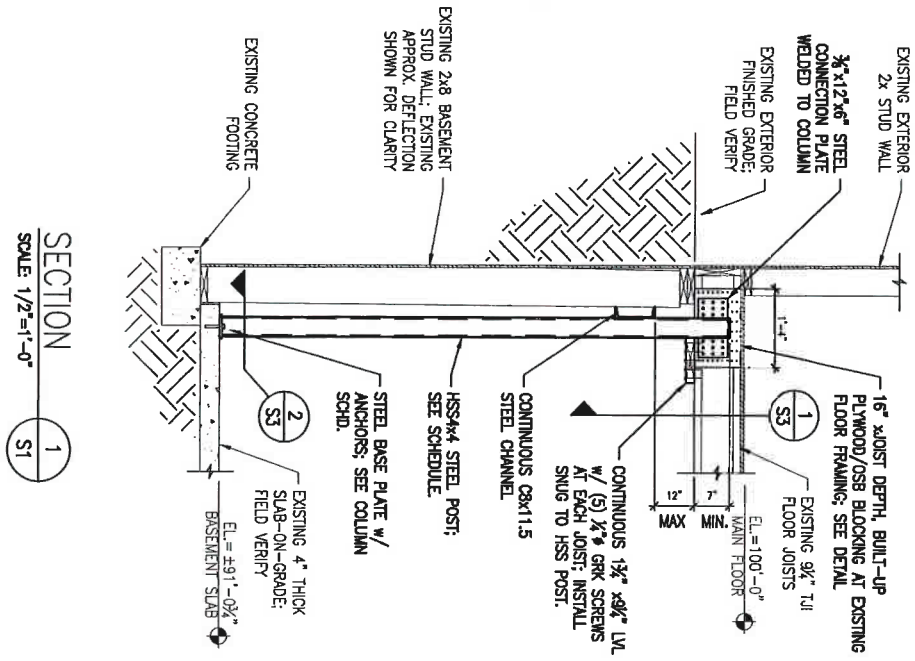


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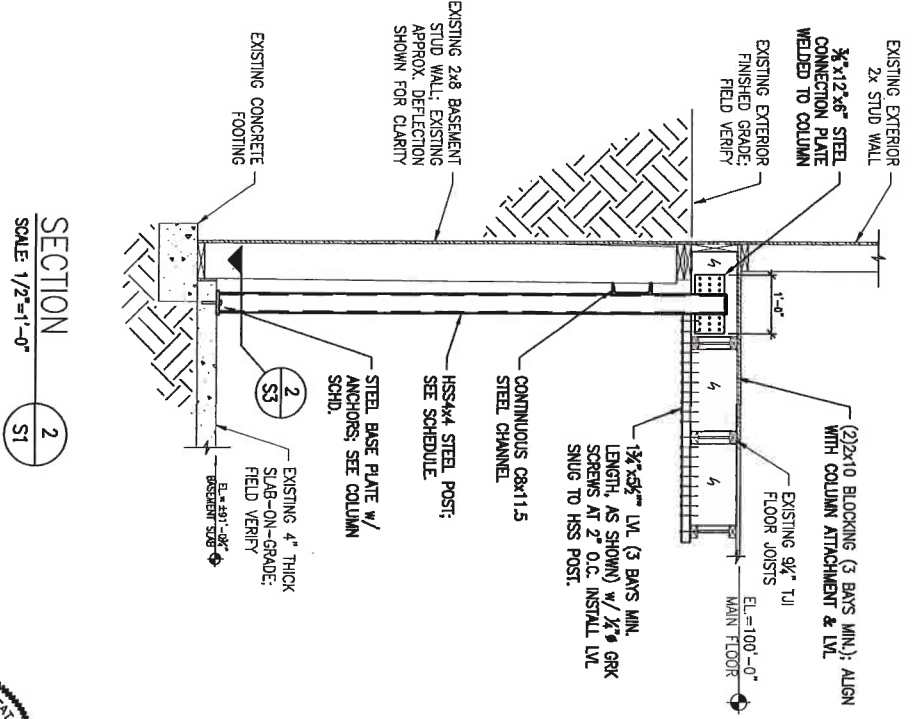
PROJECT: BASEMENT WALL REINFORCING
7215 S. CEDARVIEW LN. CEDAR, MI
CLIENT: MIKE SLANCIK
7215 S. CEDARVIEW LN. CEDAR, MI

JOB #: 22-081
DATE: 11/30/2022
SCALE: TW
DRAWN:
CHKD:
REV.:

SHEET: S1



SECTION 1
SCALE 1/2"=1'-0"
S1



SECTION 2
SCALE 1/2"=1'-0"
S1

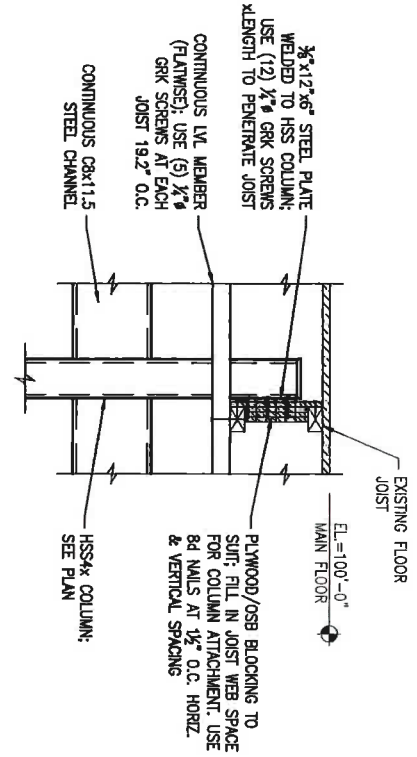


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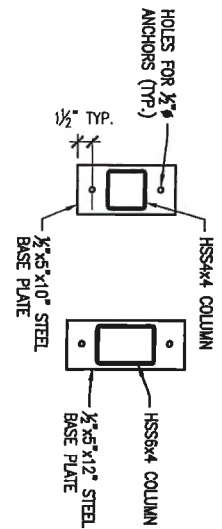
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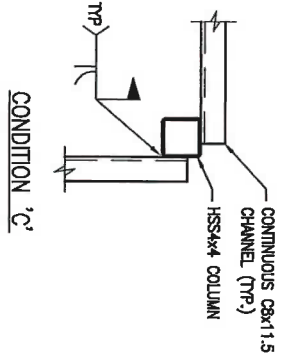
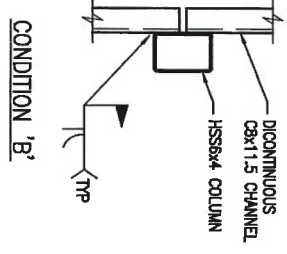
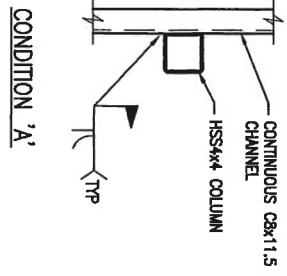
SHEET: S2



SECTION 1
SCALE: 1"=1'-0"



DETAIL 2
SCALE: 1"=1'-0"



DETAIL 3
SCALE: 1"=1'-0"



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PROJECT:
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SHEET:
S3

GENERAL FRAMING NOTES

DESIGN:

1. BUILDING CODE - THE 2015 MICHIGAN BUILDING CODE
2. THE STEEL REINFORCING FRAMING FOR SUPPORT OF THE EXISTING BASEMENT WALL HAS BEEN DESIGNED FOR FULL SATURATED SOIL AND HYDROSTATIC ACTIVE PRESSURES.

STRUCTURAL STEEL:

1. MATERIALS SHALL CONFORM TO THE FOLLOWING STANDARDS:
 - A. ANGLES, BASE PLATES, CONNECTION PLATES CHANNELS & STIFFENER PLATES ASTM A36
 - B. STRUCTURAL HSS TUBE ASTM A500, GRADE B (F_y=46 KSI)

2. ALL STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE AISC CODE OF STANDARD PRACTICE AND MANUAL OF STEEL CONSTRUCTION LATEST EDITION, EXCEPT AS MODIFIED IN THESE NOTES AND THE PROJECT SPECIFICATIONS.

LUMBER / WOOD:

1. WOOD REQUIREMENTS FOR VARIOUS USES SHALL BE AS FOLLOWS:
 - a. FRAMING LUMBER: #2 AND BETTER SPRUCE-PINE-FIR (SPF) w/ MOISTURE CONTENT LESS THAN 10% PER SAS.
 - b. BEARING STUD FRAMING LUMBER: #2 AND BETTER SPF.
 - c. BLOCKING, STUDS, PLATES, SLEEPERS, ETC.: SPF.
 - d. PLYWOOD SHEATHING SHALL BE "A-C" WITH EXTERIOR GLUE. STRUCTURAL GRADES SHALL BE APA GRADE MARKED: ORIENTED STRAND BOARD (OSB) MAY BE USED WITH THE SAME APA STAMPED SPAN RATING.
 - e. SPECIFIED LUMBER DIMENSIONS ARE NOMINAL. ACTUAL DIMENSIONS SHALL CONFORM TO PS-20.
 - f. ALL EXPOSED LUMBER OR LUMBER IN CONTACT WITH THE GROUND SHALL BE TREATED.
2. ALL ROUGH FRAMING SHALL BE EXECUTED IN ACCORDANCE WITH ACCEPTED PRACTICE AND LAD OUT AS CALLED FOR IN THE DRAWINGS.
3. ALL WORK SHALL BE CUT AND FITTED AS NECESSARY BY CONDITIONS ENCOUNTERED AND SHALL BE PLUMBED, LEVELED, AND BRACED WITH SUFFICIENT WALLS, SPIKES, BOLTS AND OTHER FASTENERS TO ENSURE RIGIDITY.
4. ENGINEERED MATERIALS ARE BASED ON MATERIAL SUPPLIED BY TRUSS JOIST WITH THE FOLLOWING:

LVL IS BASED ON 20F MICROLAM LVL

BASEMENT WALL REINFORCING NOTES

1. SEE GENERAL NOTES ON SHEET 'S0.1'.
2. PROVIDE FRAMING AS NOTED AND REQUIRED.
3. SEE FRAMING DETAILS ON THE INDICATED SECTION SHEETS.
4. CONTRACTOR SHALL FIELD VERIFY EXISTING DIMENSIONS, ELEVATIONS AND CONDITIONS.
5. INSTALLATION AND LOCATION OF HSS COLUMNS IS DEPENDANT UPON EXISTING FLOOR JOIST SPACING AND LOCATIONS. FIELD VERIFY.
6. HSS COLUMN OFFSET DIMENSION FROM EXISTING BASEMENT WALL IS DEPENDANT UPON AMOUNT OF EXISTING WALL DETECTION. DIMENSIONS VARY THROUGHOUT PROJECT. FIELD VERIFY.
7. CONTRACT ENGINEER IF EXISTING CONDITIONS ARE NOT AS SHOWN.
8. ATTEMPTING TO PUSH EXISTING BASEMENT WALL BACK TOWARD ITS ORIGINAL LOCATION (REMOVE DEFLECTED CONDITION) IS NOT RECOMMENDED.
9. BASEMENT WALL REINFORCING DESIGN IS INTENDED TO PREVENT ADDITIONAL LATERAL MOVEMENT/DEFLECTION OF THE EXISTING WOOD FRAMED BASEMENT WALL.
10. CRACKING OF EXTERIOR BASEMENT WALL SHEATHING AND/OR WATER INFILTRATION INTO THE BASEMENT SPACE WAS NOT OBSERVED AT THE TIME OF THE SITE VISIT (11/20/22). PROJECT SCOPE DOES NOT INCLUDE PREVENTING WATER INFILTRATION AT THIS TIME. CONTRACT ENGINEER PRIOR TO COMMENCING WORK IF WATER INFILTRATION IS OBSERVED.
11. IT IS RECOMMENDED THAT MEASURES ARE TAKEN TO DIVERT RAINWATER/SNOW MELT WATER AWAY FROM THE HOME AND ITS FOUNDATION. CONSIDER RAIN GUTTER INSTALLATION, RE-GRAVING EXTERIOR LANDSCAPE AWAY FROM HOME, FRENCH DRAIN INSTALLATION AND/OR INSTALLATION OF A NEW FOUNDATION DRAIN AGAINST EXTERIOR BASEMENT WALL AT MID-DEPTH OF REMAINED SOIL.

Drawing Index

Sheet No.	Sheet Title
S0.1	General Structural Notes
S1.0	Framing Plan
S2.0	Framing Sections
S3.0	Framing Sections & Details



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